



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chairman Fredrickson and Members of the Planning Commission

FROM: Wendy Lao, Associate Planner

MEETING DATE: February 22, 2018

SUBJECT: Use Permit (UP) and Administrative Architectural Permit (AAP) #18-010 for an existing residence to allow a one-story addition of 434 square feet, and to maintain the existing legal non-conforming parking configuration of one covered parking space.

ADDRESS AND LOCATION: The property is located at the south-easterly corner of 6th Street and Spruce Avenue, located at 419 6th Street (APN 006-511-009). The detached garage borders on 6th Street.

ZONING/ LAND USE: R-1/Medium Density to 17.4 DU/ac

APPLICANT/ OWNER: Aaron Tollefson, AST Designs, on behalf of Jack Mix, owner

CEQA: Categorical Exemption, Guidelines Section 15301(e)(2), Class 1, Existing Facilities

RECOMMENDATION

Approve, subject to recommended findings and conditions.

BACKGROUND

On January 2, 2018, Aaron Tollefson, AST Designs, applied for a Use Permit and Administrative Architectural Permit #18-010 for a property located at 419 6th Street in Pacific Grove. The site is currently developed with a one-story residence of 869 square feet with a 70 square feet deck and a detached garage of 450 square feet. The project seeks to add a 434 square feet one-story addition and a 179 square feet deck. The project also seeks to maintain the existing legal non-conforming parking configuration of one covered parking space in the existing detached garage, rather than provide one covered and one uncovered parking space. This would create a total of a 1,303 square feet single-family residence with an existing detached garage of 450 square feet, and no uncovered parking space.

The subject site is a corner lot of 5,415 square feet. As described above, the site currently provides only one covered parking space through a garage, which is considered legal non-conforming. The Zoning Code currently requires a minimum of one covered and one uncovered parking spaces for parcels 2,700 square feet and larger, pursuant to P.G.M.C. § 23.16.070(a).

The Zoning Code also requires that single-family residences with legal non-conformities obtain a Use Permit in order to allow an addition of more than 120 square feet, if the resulting structure will not meet the parking requirements, pursuant to P.G.M.C. §23.16.050.

As a result, the applicant seeks a joint Use Permit and Administrative Architectural Permit to allow an addition of 434 square feet, and to maintain the existing parking configuration of one covered parking space in a detached garage of 450 square feet.

DISCUSSION

Site Surroundings

The subject site is in an area characterized by single-family residential uses. A PG&E pole is located along the sidewalk of 6th Street next to the driveway approach. This site constraint makes it difficult, and possibly infeasible, to expand the existing driveway and provide an uncovered parking space on-site.

General Plan

The Planning Commission is authorized to allow exceptions to the parking requirement. The General Plan Section 4.4 states, “Exceptions to the parking standards in the Zoning Ordinance will be considered on a case-by-case basis by the planning commission through the permit review process.”

Municipal Code

Only one driveway is permitted for any one building site, pursuant to P.G.M.C. § 15.20.030. As a result, this property is unable to provide a new second driveway for an uncovered parking space between the PG&E pole and the main residence.

Zoning Code

The proposed project is generally in conformance with all requirements of the R-1 zone with some existing non-conforming exceptions:

1. The Zoning Code requires for the property to provide a minimum of one covered and one uncovered standard parking spaces, and the property currently provides one covered parking space.
2. The Zoning Code requires that any garage opening facing a street to be set back 20 feet, and the garage is currently set back seven feet.
3. The Zoning Code requires a front yard setback of 15 feet, and a rear and side yard setback of 10 feet, and the garage and/or main residence currently encroaches into these setbacks.

The proposed project meets all other zoning requirements. The addition will not encroach into the setbacks. The proposed project will have a building coverage of 32% (1,753 square feet), which is within the allowable maximum building coverage of 40%, pursuant to P.G.M.C. §23.16.040. The proposed project will have a site coverage of nearly 37% (2,002 square feet), which is within the allowable site coverage of 60%. The proposed project will have a gross floor area of 1,753 square feet, which is within the allowable maximum gross floor area of 2,683 square feet. The proposed project will have a building height of 17 feet 3 inches, which is well under the allowable maximum height limit of 25 feet.

Historic Review

The subject site was built in 1938 and is not listed in the City's Historic Resources Inventory (HRI). On August 23, 2017, the City's Historic Resources Committee (HRC) reviewed an Initial Historic Screening. The HRC determined that the property is not eligible for the HRI because the property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.

Architecture Review Guidelines:

The project proposal appears to adhere to the many Architectural Review Guidelines, including but not limited to:

Guideline #24: A new structure should appear similar in scale to those seen as traditional in the area.

The proposed design complements the existing residence, and enhances the rhythm and scale of the existing neighborhood streetscape through the use of similar proportions and details.

Guideline #28: An addition should complement and balance the overall form, mass, and composition of the existing building.

The proposed design complements and improves the existing building, which also allows for a more interesting structure. The proposed design uses less than the allowed maximum lot coverage and incorporates a variable footprint within the required setbacks.

Guideline #31: Additions should be designed so that the pitch of the new roof matches or complements the pitch of the existing roof lines.

The addition proposes a roof with a 5/12 pitch, which matches the pitch of the existing roof lines.

CEQA:

The project proposes an addition of 434 square feet, which is smaller than 10,000 square feet. Therefore, the project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Guidelines Section 15301(e)(2) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations conform to the requirements of the California Environmental Quality Act (CEQA).

ATTACHMENTS

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. Initial Historic Determination
- E. Project Plans

RESPECTFULLY SUBMITTED:

Wendy Lao

Wendy Lao, Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application #

AAP 18-10

Date:

1/2/18

Total Fees:

1056.80

APPLICANT/OWNER:

Project Address: 419 6th Street

APN: 006-511-009

Project Description: New 434 s.f. addition to existing 869 s.f. SFD.
New 179 s.f. of exterior decks

Tree Work?

☐ Yes☒ No

Applicant

Name: Aaron Tolleson

Phone: (831) 578-3450

Email: aarontolleson@global.net

Mailing Address: 957 Angelus Way
Del Rey Oaks, CA 93940

Owner

Name: Mr. & Mrs. Jack Mix

Phone: —

Email: —

Mailing Address: 419 6th Street
Pacific Grove, CA 93950

PLANNING STAFF USE ONLY:

Permit Request:

☐ CRD: Counter Determination☐ SP: Sign Permit☐ LM: Lot Merger☐ EIR: Environmental Impact☐ AP: Architectural Permit☐ UP: Use Permit☐ IHS: Initial Historic Screening☐ VAR: Variance☒ AAP: Administrative AP☐ AUP: Administrative UP☐ HPP: Historic Preservation☐ MMP: Mitigation Monitoring☐ ADC: Arch Design Change☐ ADU: Acc. Dwelling Unit☐ A: Appeal☐ Stormwater Permit☐ ASP: Admin Sign Permit☐ LLA: Lot Line Adjustment☐ TPD: Tree Permit W/ Dev't☐ Other: _____

CEQA Determination:

☒ Exempt☐ Initial Study & Mitigated
Negative Declaration☐ Environmental Impact
Report

Review Authority:

☒ Staff☐ HRC☐ ZA☐ PC☐ SPRC☐ CC☐ ARB☐ _____

Active Permits:

☐ Active Planning Permit☐ Active Building Permit☐ Active Code Violation

Permit #: _____

Overlay Zones:

☐ Butterfly Zone☐ Coastal Zone☒ Area of Special Biological
Significance (ASBS)☐ Environmentally Sensitive
Habitat Area (ESHA)

Property Information

Lot: 2

Block: 140

Tract: PG Addition

ZC: R-1

GP: Mod. 19.4 DU/AC

Lot Size: 5,299.69

☐ Historic Resources Inventory☐ Archaeologically Sensitive Area

Staff Use Only:

JAN 02 2018

PAID

Received by: MW

3,685.55 = 2,1628.75 + 1056.80

Assigned to: CITY OF PACIFIC GROVE 1-2-18

COMMUNITY DEV DEPT

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

I further acknowledge it is my responsibility to determine whether additional permits are required.

Applicant Signature:

Date: 1-2-2018

Owner Signature (Required):

Date: 1-2-2018

Updated: 08/17/2017

PROJECT DATA SHEET

Item 7b

Project Address: 419 6TH STREET Submittal Date: JANUARY 2, 2018
 Applicant(s): AARON S. TOLLEFSON Permit Type(s) & No(s):

	Required/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1			
Building Site Area	5,415			
Density (multi-family projects only)	N/A			
Building Coverage		1,319	1,753	RESIDENCE & GARAGE
Site Coverage		1,389	2,002	WALKWAY (PAVERS)
Gross Floor Area		1,319	1,753	
Square Footage not counted towards Gross Floor Area *See Checklist Item 36		N/A	N/A	
Exterior Lateral Wall Length to be demolished	n/a	n/a	ft demo/ 5.8 ft total	
Exterior Lateral Wall Length to be built	n/a	n/a	120.10	
Building Height		14'-9"	17'-3"	
Number of stories		1	1	
Front Setback		15'-0"	15'-0"	
EAST Side Setback (specify side)		10'-0"	10'-0"	
WEST Side Setback (specify side)		10'-0"	10'-0"	
Rear Setback		10'-0"	10'-0"	HOUSE SITS AT 4'-6"
Garage Door Setback		7'-0"	7'-0"	
Covered Parking Spaces		1	1	
Uncovered Parking Spaces		1	1	
Parking Space Size	9' x 20'	15' x 30'	15' x 30'	
Number of Driveways	1	1	1	
Driveway Width(s)		15'-0"	15'-0"	
Back-up Distance		7'-0"	7'-0"	
Eave Projection (Into Setback)	3' maximum	1'-0"	1'-0"	
Distances Between Eaves & Property Lines	3' minimum	3'-6"	3'-6"	
Open Porch/Deck Projections		N/A	N/A	
Architectural Feature Projections (Into Setback)		N/A	2'-0"	CANTILEVER BAY WIN.
Number & Category of Accessory Buildings		N/A	N/A	
Accessory Building Setbacks		N/A	N/A	
Distance between Buildings		N/A	N/A	
Accessory Building Heights		N/A	N/A	
Fence Heights		6'-0"	6'-0"	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

USE PERMIT & ADMINISTRATIVE ARCHITECTURAL PERMIT #18-010

FOR A PROPERTY LOCATED AT 419 6TH STREET TO ALLOW A SINGLE-STORY ADDITION OF 434 SQUARE FEET AND A NEW 179 SQUARE FEET EXTERIOR DECK, AND TO MAINTAIN ONE EXISTING COVERED PARKING SPACE RATHER THAN PROVIDE ONE COVERED AND ONE UNCOVERED PARKING SPACES.

FACTS

1. The subject site is located at 419 6th Street, Pacific Grove, 93950 (APN 006-511-009)
2. The subject site has a designation of Medium Density to 17.4 DU/ac on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject site is a through, corner lot of 5,415 square feet.
5. The subject site is developed with a single-story single family residence of 869 square feet and a detached garage of 450 square feet.
6. A PG&E pole exists on the public right-of-way adjacent to the property along 6th Street, and another PG&E pole exists at the intersection of 6th Street and Spruce Avenue.
7. The subject property was built in 1938 and is not listed on the City's Historic Resources Inventory.
8. The City's Historic Resources Committee reviewed an Initial Historic Screening on August 23, 2017, and determined that the property to not be eligible as a Historic Resource.
9. The subject site is located in the Area of Special Biological Significance Watershed.
10. The subject site is developed with one (1) covered parking space, which is a legal non-conformity. P.G.M.C. §23.16.070 currently requires 1 covered and 1 uncovered parking spaces for lots 2,700 square feet and larger.
11. P.G.M.C. §23.16.050 requires that single-family dwellings with legal non-conformities obtain a Use Permit in order to allow an addition of more than 120 square feet if the resulting structure will have less off-street parking than required by the zoning regulations.
12. Only one driveway is allowed per building site, pursuant to P.G.M.C. §15.20.030.
13. This project has been determined to be CEQA Exempt under CEQA Guidelines Section 15301(e)(1), Class 1, Existing Facilities.

FINDINGS

1. The proposed use is allowed with a Use Permit within the R-1 zoning district and complies with all applicable provisions of these regulations, and;
2. The proposed use is consistent with the general plan, and;
3. The establishment, maintenance, or operation of the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, and;
4. The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city; and
5. The location, size, design, and operating characteristics of the proposed use are compatible with the existing and future land uses in the vicinity, and;
6. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements, with the exception of the 1 legal non-nonconforming uncovered parking space which may be allowed with a Use Permit and encroachments into setbacks, and;

7. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with the Architectural Review Guidelines including but not limited to Guideline No. 24, 28, and 31, and;
8. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
9. The Commission have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Use Permit (UP) and Administrative Architectural Permit (AAP) #18-010

Per Pacific Grove Municipal Code §23.68.050(d)(1) and §23.70.030(b)(2)(A) with the following conditions:

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “Mix Residence” dated September 20, 2017 and revised on February 3, 2018 on file with the Community and Economic Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Street Trees.** One street tree must be planted along the frontage of Spruce Avenue in coordination with the City Arborist.
8. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12

9. **Story Poles and Netting:** Following the 10 day appeal period all story poles and netting are required to be removed.
10. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PACIFIC GROVE:

1. The Commission determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Commission authorizes Approval of UP AAP 18-010 to allow a single-story addition of 434 square feet and a new 179 square feet exterior deck, and to maintain one existing covered parking space rather than provide one covered and one uncovered parking spaces.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Planning Commission of the City of Pacific Grove on the 22nd day of February, 2018, by the following vote:

AYES: XXX

NOES: XXX

ABSENT: XXX

APPROVED:

XXX, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Jack Mix, Owner

Date



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Initial Historic Screening Determination

Address: 419 6th ST APN: 006-511-009-000
 Owner: Jack and Alice Mix Applicant: Aaron Tollefson

HISTORIC RESOURCES COMMITTEE (HRC) RECOMMENDATION:

At the August 23, 2017 HRC meeting, the Committee prepared the following Preliminary Determination of Ineligibility and forwarded the recommendation to the Community Development Director:

☒ Determined to be ineligible as an "Historical Resource," due to the following criteria:

☒ 1. The property has undergone significant alterations to the primary or most visible façade, as evidenced through original plans, photographs or Sanborn maps.

• _____ (description of known alteration)

• _____ (type of documentation)

☐ 2a. The property does not exhibit the architectural characteristics of the styles described in Section 7.3 of the General Plan or Section IV of the Historic Context Statement;

or

☐ 2b. The property does not exhibit unique architectural, site or locational characteristics.

☐ 3. The property is not associated with important persons, events or architecture.

☐ Determination of ineligibility cannot be made.

HRC Comments:

Maureen Mason, HRC Chair

8/22/17

Date

COMMUNITY DEVELOPMENT DIRECTOR (CDD) DETERMINATION:

Based on the recommendation above, the CDD Director, or their designee:

☒ Made a determination of ineligibility, which will remain in effect for 10 years from the date of approval.

☐ Found that a determination of ineligibility cannot be made, and a Phase 1 Historic Assessment (DPR 523 Form) is required.

Mark Brodeur, CDD Director

8/23/17

Date

NEW ADDITION FOR MIX RESIDENCE

419 6TH STREET
PACIFIC GROVE, CALIFORNIA 93950

AST
DESIGN GROUP
957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

VICINITY MAP	ASSESSORS MAP	SHEET INDEX	PROJECT DATA
		<div><div><div>A1.0COVER SHEET, PROJECT DATA, NOTES, ASSESSORS MAP</div><div>A1.1ENTIRE SITE PLAN, NOTES</div><div>A1.2EXISTING AND DEMOLITION FLOOR PLAN, NEW FLOOR PLAN</div><div>A1.3FOUNDATION PLAN, ROOF FRAMING PLAN, SECTION</div><div>A1.4EXTERIOR ELEVATIONS, WINDOW FLASHING DETAILS</div></div><div><div>E1.0ELECTRICAL PLAN, ELECTRICAL NOTES</div></div><div><div>S1.0STRUCTURAL DETAILS</div><div>S1.1STRUCTURAL DETAILS</div><div>S1.2STRUCTURAL DETAILS</div><div>S1.3STRUCTURAL DETAILS</div><div>S1.4STRUCTURAL DETAILS</div><div>S1.5STRUCTURAL DETAILS</div></div><div><div>T1TITLE 24 ENERGY COMPLIANCE</div><div>T2TITLE 24 ENERGY COMPLIANCE</div><div>T3TITLE 24 ENERGY COMPLIANCE</div></div></div>	<div><div><div>PROJECT ADDRESS</div><div>419 6TH STREET PACIFIC GROVE, CALIFORNIA 93950</div></div><div><div>PARCEL NUMBER:</div><div>006-511-009</div></div><div><div>PACIFIC GROVE ZONING:</div><div>R-1</div></div><div><div>SITE AREA:</div><div>5,415 S.F.</div></div><div><div>CONSTRUCTION TYPE:</div><div>V-B</div></div><div><div>OCCUPANCY TYPE:</div><div>R-3</div></div><div><div>STORIES:</div><div>1-STORY</div></div><div><div>SEWER SYSTEM:</div><div>EXISTING SEWER SYSTEM</div></div><div><div>SQUARE FOOTAGE:</div><div><div>(E) RESIDENCE:869 S.F.</div><div>(E) DETACHED GARAGE:450 S.F.</div><div>(N) ADDITION:434 S.F.</div><div>TOTAL:1,753 S.F.</div></div></div><div><div>SITE COVERAGE:</div><div><div>(E) RESIDENCE:869 S.F.</div><div>(E) DETACHED GARAGE:450 S.F.</div><div>(N) ADDITION:434 S.F.</div><div>(E) DECK:70 S.F.</div><div>(N) DECKS:179 S.F.</div><div>TOTAL SITE COVERAGE:2,002 S.F. (36.97% SITE COVERAGE)</div></div></div><div><div>FIRE SPRINKLER REQUIREMENT:</div><div>NOT REQUIRED (See Fire Sprinkler calculation)</div></div><div><div>TREES TO BE REMOVED:</div><div>NO TREES TO BE REMOVED</div></div><div><div>MAXIMUM HEIGHT ALLOWED:</div><div>25 FEET</div></div></div>
GENERAL NOTES	FIRE DEPARTMENT NOTES	ARCHAEOLOGICAL RESOURCES NOTE:	SCOPE OF WORK
<p>TYPICAL CONSTRUCTION REQUIREMENTS OF THE 2016 CRC SHALL APPLY WHERE APPLICABLE AND WHEN NOT SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.</p> <p>SITE FAMILIARIZATION: CONTRACTOR IS RESPONSIBLE TO ACQUAINT HIMSELF WITH THE SITE PRIOR TO SUBMITTING A PROPOSAL. IF THE CONTRACTOR DISCOVERS ANY CONDITIONS DURING HIS SITE VISIT FAMILIARIZATION WHICH HE FEELS WILL ADVERSELY AFFECT THE WORK, OR WHICH HE FEELS HAVE NOT BEEN ADEQUATELY ADDRESSED BY THE CONSTRUCTION DOCUMENTS, HE IS TO NOTIFY THE DESIGNER IN WRITING.</p> <p>CONSTRUCTION DETAILS: NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE CARRIED OUT BY RESPECTIVE CONTRACTORS IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR WITH MANUFACTURERS SPECIFICATIONS FOR INSTALLATION FOR THEIR MATERIALS OR ITEMS.</p> <p>DEMOLITION: COORDINATE ALL DEMOLITION REQUIREMENTS WITH THE OWNER. VERIFY WITH OWNER WHICH ITEMS, IF ANY, HE WISHES TO RETAIN FOR HIS USEAGE. ALL OTHER ITEMS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE PROPERLY REMOVED FROM THE PREMISES. UTILIZE DUST CONTROL MEASURES DURING DEMOLITION.</p> <p>GLAZING: ALL DOORS ARE TO HAVE TEMPERED GLAZING. ALL GLAZING IN ANY AREAS SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS. GLAZING WITHIN 24" OF ANY EDGE OF DOOR OR WITHIN 18" OF THE FLOOR MUST COMPLY.</p> <p>MECHANICAL AND PLUMBING: IT IS THE ESSENCE OF THE CONTRACTOR THAT ALL SYSTEMS SHALL FUNCTION WELL INDIVIDUALLY AND IN COMBINATION WITH OTHER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR THE PLUMBING LAYOUT FOR ALL FIXTURES AND EQUIPMENT.</p> <p>GFI PROTECTION: ALL 125 VOLT, SINGLE PHASE 15 AND 20 AMP RECEPTACLE OUTLETS INSTALLED OUTDOORS, IN GARAGES, IN BATHROOMS AND WITHIN 6 FEET OF KITCHEN SINKS ABOVE COUNTERTOP SURFACE SHALL HAVE GROUND FAULT CIRCUIT PROTECTION. ALL KITCHEN RECEPTACLES TO BE GFCI.</p> <p>SMOKE DETECTORS: AN APPROVED SMOKE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH SLEEPING AND EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. ADDITIONS OR REPAIRS WITH A VALUATION OF \$1,000 OR MORE REQUIRE THAT SMOKE DETECTORS BE INSTALLED. IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO THE HALLWAY BY 24" OR MORE, SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS. (REFER TO 2013 RESIDENTIAL CODE FOR SMOKE DETECTORS).</p> <p>NAILING TO BE IN COMPLIANCE WITH 2016 CALIFORNIA RESIDENTIAL CODE TABLE.</p> <p>ALL HOT WATER FAUCETS THAT HAVE MORE THAN 10 FEET OF PIPE BETWEEN THE FAUCET AND THE HOT WATER HEATER SERVING SUCH FAUCET SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. (SECTION 6 (Q), ORD. 3522).</p> <p>NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.</p> <p>ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUT-OFF NOZZLE. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.</p> <p>ALL MANUFACTURERS INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT TIME OF FIELD INSPECTION.</p> <p>THE HOT WATER PLUMBING SYSTEM SHALL BE RECIRCULATING HOT WATER SYSTEM.</p> <p>CARBON MONOXIDE DETECTORS: AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN EACH STORY AND IN THE BASEMENT (WHERE APPLICABLE). REQUIRED CARBON MONOXIDE DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRE. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE HALLWAY. DETECTORS SHALL SOUND AND ALARM IN AREAS LOCATED NEAR SLEEPING AREAS. (REFER TO 2013 CALIFORNIA RESIDENTIAL CODE FOR CARBON MONOXIDE DETECTORS, SECTION R315).</p>	<p>FIRE007 - DRIVEWAYS DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED, WITH AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET. THE GRADE FOR ALL DRIVEWAYS SHALL NOT EXCEED 15 PERCENT. WHERE THE GRADE EXCEEDS 8 PERCENT, A MINIMUM STRUCTURAL ROADWAY SURFACE OF 0.17 FEET OF ASPHALTIC CONCRETE ON 0.34 FEET OF AGGREGATE BASS SHALL BE REQUIRED. THE DRIVEWAY SURFACE SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS (22 TONS), AND BE ACCESSIBLE BY CONVENTIONAL DRIVE VEHICLES, INCLUDING SEDANS. FOR DRIVEWAYS WITH TURNS 90 DEGREES AND LESS, THE MINIMUM HORIZONTAL INSIDE RADIUS OF CURVATURE SHALL BE 28 FEET. FOR ALL DRIVEWAY TRUNS, AND ADDITIONAL SURFACE OF 4 FEET SHALL BE ADDED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400-FOOT INTERVALS. TURNOUTS SHALL BE A MINIMUM OF 12 FEET WIDE AND 30 FEET LONG WITH A MINIMUM OF 25-FOOT TAPRE AT BOTH ENDS. TURNAROUNDS SHALL BE REQUIRED ON DRIVEWAYS IN EXCESS OF 150 FEET OF SURFACE LENGTH AND SHALL BE LOCATED WITHIN 50 FEET OF THE PRIMARY BUILDING. THE MINIMUM TURNING RADIUS FOR A TURNAROUND SHALL BE 40 FEET FROM THE CENTER LINE OF THE DRIVEWAY. IF A HAMMERHEAD / T IS USED, THE TOP OF THE "T" SHALL BE A MINIMUM OF 60 FEET IN LENGTH.</p> <p>FIRE011 - ADDRESSES FOR BUILDINGS ALL BUILDINGS SHALL BE ISSUED AN ADDRESS IN ACCORDANCE WITH MONTEREY COUNTY ORDINANCE NO. 1241. EACH OCCUPANCY, EXCEPT ACCESSORY BUILDINGS, SHALL HAVE ITS OWN PERMANENTLY POSTED ADDRESS. WHEN MULTIPLE OCCUPANCIES EXIST WITHIN A SINGLE BUILDING, EACH INDIVIDUAL OCCUPANCY SHALL BE SEPARATELY IDENTIFIED BY ITS OWN ADDRESS. LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE MINIMUM OF 4 INCH HEIGHT, 1/2 INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN, AND SHALL BE ARABIC. THE SIGN AND NUMBERS SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND AT EACH DRIVEWAY SPLIT. ADDRESS SIGNS SHALL BE VISIBLE AND LEGIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER. ADDRESS SIGNS ALONG ONE-WAY ROADS SHALL BE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. WHERE MULTIPLE ADDRESSES ARE REQUIRED AT A SINGLE DRIVEWAY, THEY SHALL BE MOUNTED ON A SINGLE SIGN. WHERE A ROADWAY PROVIDES ACCESS SOLELY TO SINGLE COMMERCIAL OCCUPANCY, THE ADDRESS SIGN SHALL BE PLACED AT THE NEAREST ROAD INTERSECTION PROVIDING ACCESS TO THAT SITE. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO REQUESTING FINAL CLEARANCE.</p> <p>FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD) MANAGE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 100 FEET OF STRUCTURES, OR TO THE PROPERTY LINE, WHICHEVER IS CLOSER. TRIM TREE LIMBS TO A MINIMUM HEIGHT OF 6 FEET FROM THE GROUND. REMOVE LIMBS WITHIN 10 FEET OF CHIMNEYS. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIREBREAKS APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREAS MAY REQUIRE ALTERNATIVE FIRE PROTECTION, TO BE DETERMINED BY REVIEWING AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.</p> <p>FIRE029 - ROOF CONSTRUCTION ALL NEW STRUCTURES AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 25 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF ICBO CLASS "A" ROOF CONSTRUCTION.</p>	<p>IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL, HISTORICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. MONTEREY COUNTY RMA - PLANNING AND A QUALIFIED ARCHAEOLOGIST (i.e. AN ARCHAEOLOGIST REGISTERED WITH THE REGISTER OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON-SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR RECOVERY.</p>	<div><div>1. NEW 434 S.F. ADDITION TO AN EXISTING 869 S.F. SINGLE FAMILY DWELLING</div><div>2. NEW 179 S.F. ADDITION OF EXTERIOR DECKS AND STAIRS</div></div>
		SMOKE & CARBON MONOXIDE LOCATIONS	FIRE SPRINKLER CALCULATION
			<div><div>1. EXISTING LENGTH OF WALLS (INTERIOR & EXTERIOR) (INCLUDING GARAGE WALLS) = 335.80 FT.</div><div>2. LENGTH OF WALLS TO BE REPLACED OR NEW = 120.10 FT.</div><div>3. LENGTH OF EXISTING WALLS TO BE REMOVED = 5.80 FT.</div><div>4. ADD STEPS 2 AND 3 = 125.90 FT.</div><div>5. DIVIDE TOTAL OF STEP 4 BY TOTAL OF STEP 1 = 37.49%</div><div>6. SPRINKLERS REQUIRED IF 50% OR MORE = NOT REQUIRED</div></div>
			APPLICABLE CODES
			<p>THIS PROJECT SHALL COMPLY WITH ALL CURRENT CODES LISTED AS FOLLOWS:</p> <p>2016 CALIFORNIA BUILDING CODE</p> <p>2016 CALIFORNIA RESIDENTIAL CODE</p> <p>2016 CALIFORNIA FIRE CODE</p> <p>2016 CALIFORNIA MECHANICAL CODE</p> <p>2016 CALIFORNIA PLUMBING CODE</p> <p>2016 CALIFORNIA ELECTRICAL CODE</p> <p>2016 TITLE 24 ENERGY COMPLIANCE</p>

NEW
ADDITION & REMODEL
FOR:

**MIX
RESIDENCE**

419 6TH STREET
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-511-009

DRAWINGS:
PROJECT DATA
SHEET INDEX
SCOPE OF WORK
CODES
ASSESSORS MAP
VICINITY MAP
NOTES

DRAWN BY: AST
DRAWING DATE: Sept. 20, 2017
REVISION DATES:

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SHEET
A1.0

PROJECT DATA SHEET

Project Address: 419 6TH STREET

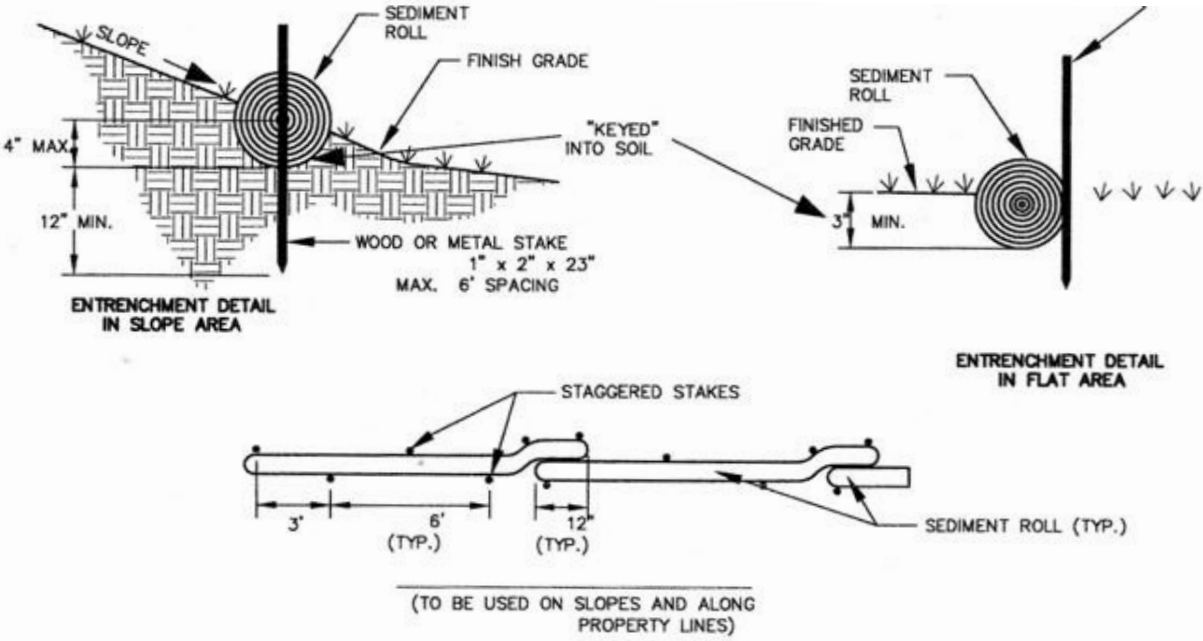
Submittal Date: JANUARY 2, 2018

Applicant(s): AARON S. TOLLEFSON

Permit Type(s) & No(s):

	Required/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1			
Building Site Area	5,415			
Density (multi-family projects only)	N/A			
Building Coverage		1,319	1,753	RESIDENCE & GARAGE
Site Coverage		1,389	2,002	WALKWAY (PAVERS)
Gross Floor Area		1,319	1,753	
Square Footage not counted towards Gross Floor Area *See Checklist Item 36		N/A	N/A	
Exterior Lateral Wall Length to be demolished	n/a	n/a	ft demo/ 5.8 ft total	
Exterior Lateral Wall Length to be built	n/a	n/a	120.10	
Building Height		14'-9"	17'-3"	
Number of stories		1	1	
Front Setback		15'-0"	15'-0"	
EAST Side Setback (specify side)		10'-0"	10'-0"	
WEST Side Setback (specify side)		10'-0"	10'-0"	
Rear Setback		10'-0"	10'-0"	HOUSE SITS AT 4'-6"
Garage Door Setback		7'-0"	7'-0"	
Covered Parking Spaces		1	1	
Uncovered Parking Spaces		1	1	
Parking Space Size	9' x 20'	15' x 30'	15' x 30'	
Number of Driveways	1	1	1	
Driveway Width(s)		15'-0"	15'-0"	
Back-up Distance		7'-0"	7'-0"	
Eave Projection (Into Setback)	3' maximum	1'-0"	1'-0"	
Distances Between Eaves & Property Lines	3' minimum	3'-6"	3'-6"	
Open Porch/Deck Projections		N/A	N/A	
Architectural Feature Projections (Into Setback)		N/A	2'-0"	CANTILEVER BAY WIN.
Number & Category of Accessory Buildings		N/A	N/A	
Accessory Building Setbacks		N/A	N/A	
Distance between Buildings		N/A	N/A	
Accessory Building Heights		N/A	N/A	
Fence Heights		6'-0"	6'-0"	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



- NOTES
1. PRIOR TO ROLL INSTALLATION, CONTOUR A CONCAVE KEY TRENCH THREE (3" MIN.) TO FOUR (4") INCHES MAX. DEEP ALONG THE PROPOSED INSTALLATION ROUTE.
 2. SOIL EXCAVATED IN TRENCHING SHOULD BE PLACED ON THE UPHILL OR FLOW SIDE OF THE ROLL TO PREVENT WATER FROM UNDER CUTTING THE ROLL.
 3. PLACE SEDIMENT ROLL INTO KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL TO WITHIN SIX FEET (6') OF EACH END AND THEN EVERY SIX FEET (6') WITH 1" x 2" x 23" WOOD OR METAL STAKES.
 4. STAKES ARE TYPICALLY DRIVEN IN ON ALTERNATING SIDES OF THE ROLL. WHEN MORE THAN ONE SEDIMENT ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED TWELVE INCHES (12") MIN. TO PROVIDE A TIGHT JOINT, NOT ADJUTED TO ONE ANOTHER.

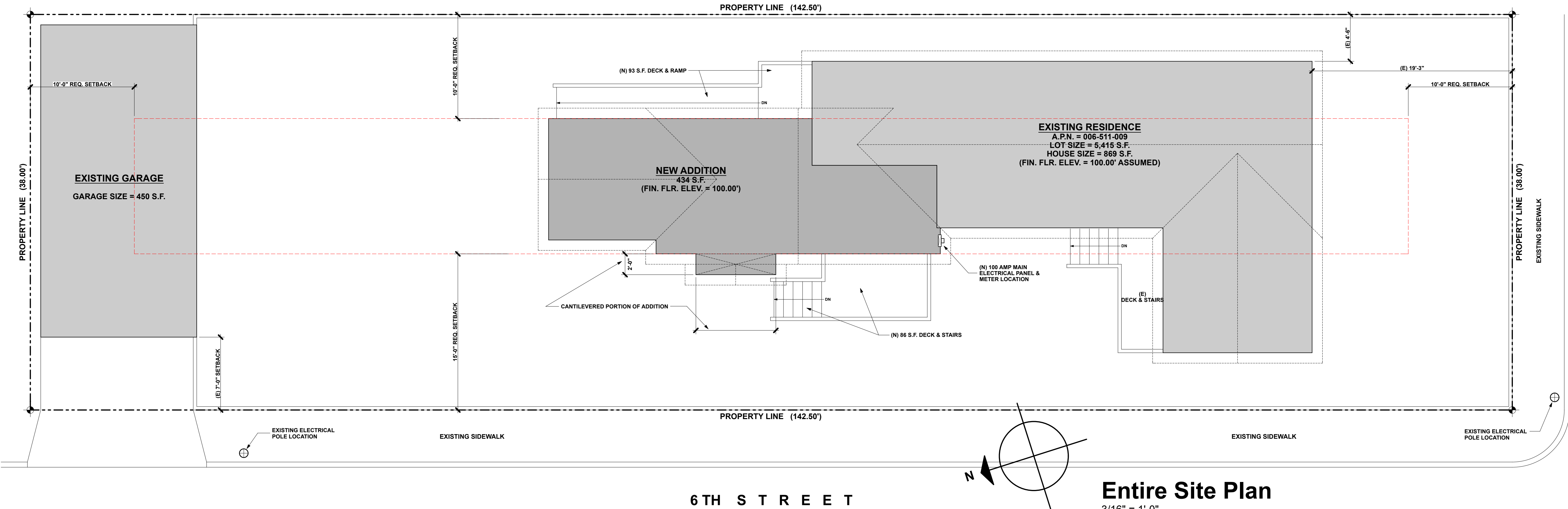
EROSION CONTROL - SEDIMENT ROLL DETAIL

1

NEW
ADDITION & REMODEL
FOR:

MIX
RESIDENCE

419 6TH STREET
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-511-009



DRAWINGS:
ENTIRE SITE PLAN
NOTES

DRAWN BY: AST
DRAWING DATE: Sept. 20, 2017
REVISION DATES:
February 3, 2018 (Plann. Revisions)

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SHEET

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NOTES:

1. PROVIDE SEISMIC STRAPPING FOR WATER HEATER PER CBC REQUIREMENTS, INSTALL ON PAD 18" MINIMUM ABOVE FLOOR IN CONDITION APPLIES.
2. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH, HARD, NON-ABSORBANT SURFACE TO A HEIGHT OF 70" MIN. ABOVE THE DRAIN INLET (SECTION 8071.3, CBC).
3. BATHROOM FANS TO PROVIDE A MINIMUM 5 AIR CHANGES PER HOUR.
4. GARAGE TO HOSE WALLS AND CEILING TO BE PROTECTED WITH 1-HOUR FIRE RATED MATERIALS ON THE GARAGE SIDE. USE 5/8" GYPSUM BOARD TYPE "X".
5. ATTIC ACCESS ARE TO BE 24" X 30" MINIMUM.
6. GLAZING IN AREAS SUBJECT TO HUMAN IMPACT, LESS THAN 24" TO DOORS AND LESS THAN 18" FLOOR TO WINDOW, SHALL BE SAFETY GLAZING MATERIAL SUCH AS WIRED GLASS, LAMINATED GLASS, TEMPERED GLASS OR SAFETY PLASTIC. GLAZING USED IN-DOORS AND PANELS OF SHOWERS AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS.
7. DRYER TO BE VENTED TO EXTERIOR WITH 4"Ø DUCT LINE. (14"-0" MAXIMUM RUN)
8. PROVIDE A NON-REMOVABLE BACKFLOW PREVENTION DEVICE AT HOSE-BIBS.
9. WINDOWS IN SLEEPING ROOMS SHALL PROVIDE:

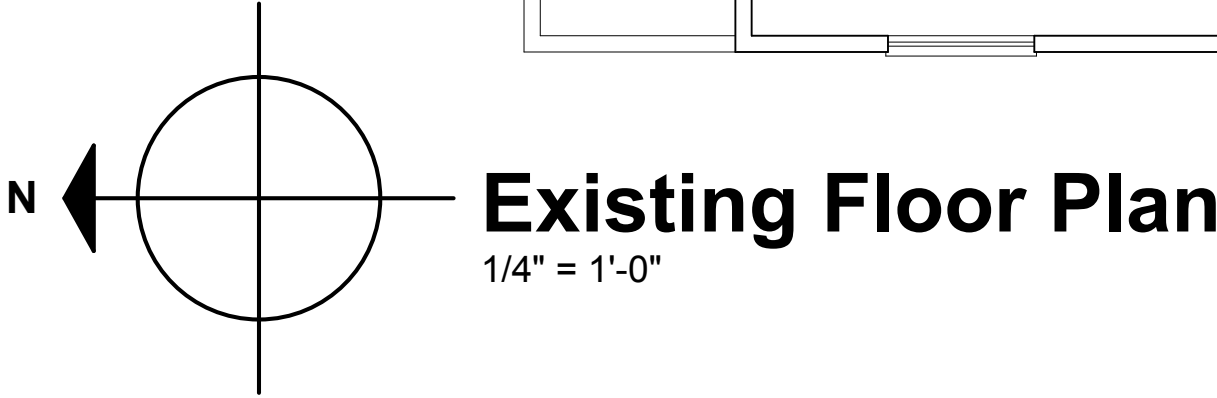
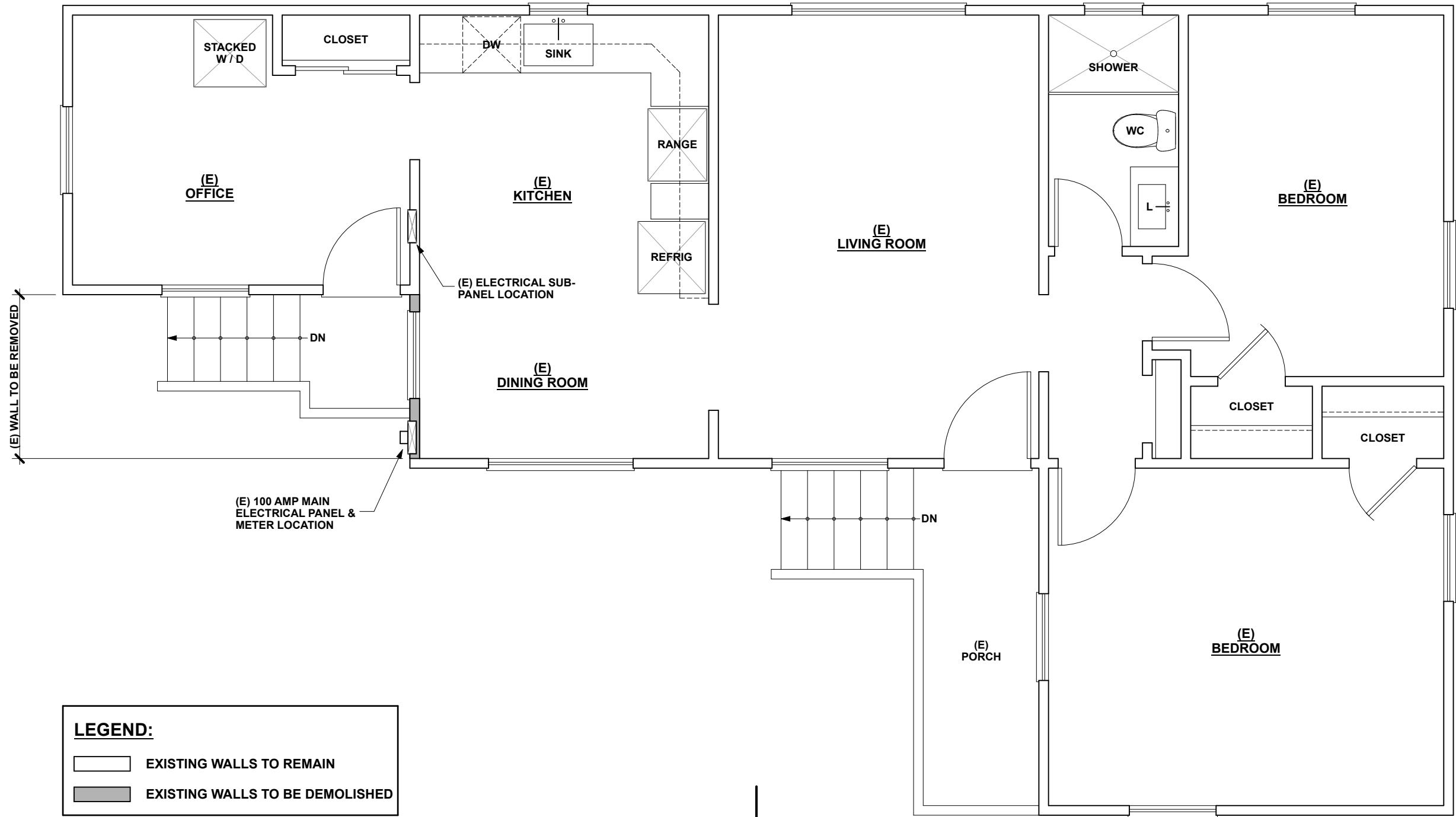
MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 S.F. IN AREA
MINIMUM NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT
MINIMUM NET CLEAR OPENABLE DIMENSION OF 20 INCHES IN WIDTH
OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR
10. THE REQUIRED NATURAL LIGHT FOR EVERY SPACE INTENDED FOR HUMAN OCCUPANCY WITH GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF ROOM FLOOR AREA. (CBC 1205.2)
11. THE REQUIRED NATURAL VENTILATION IN OCCUPIED SPACES THROUGH OPENABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF THE AREA BEING VENTILATED. (CBC 1204.1)
12. WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GALLONS PER FLUSH PER STATE HEALTH AND SAFETY CODE (SECTION 17921.3(b).
13. USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE AT THE SHOWERS AND TUB-SHOWER COMBINATION.
14. SMOKE DETECTORS ARE TO SOUND AND ALARM AUDIBLE IN ALL BEDROOMS OF THE RESIDENCE.
15. SMOKE DETECTORS SHALL RECEIVE THEIR POWER FROM THE HOUSE PRIMARY WIRE AND SHALL ALSO HAVE BATTERY BACK-UP.
16. INSTALL UFER GROUNDING FOR THE 200 AMP ELECTRICAL SERVICE PER NEC 250-50(c).
17. KITCHEN COUNTER OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2'-0" FROM AN ELECTRICAL OUTLET.
18. THE MASTER BATHROOM OUTLETS SHALL HAVE APPROVED GROUND FAULT CIRCUIT PROTECTION.
19. OUTDOOR OUTLETS (WP/GFCI) SHALL BE INSTALLED AT THE FRONT AND REAR OF THE RESIDENCE.
20. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS, OTHER EQUIPMENT (LIGHTING, EXHAUST FANS), WITHIN THE SAME BATHROOM, MAY BE SUPPLIED BY THE SAME BRANCH CIRCUIT WHERE THE BRANCH CIRCUIT SUPPLIES A SINGLE BATHROOM ONLY.
21. AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS.
22. CLOTHES DRYER AND ELECTRIC RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET.
23. PROVIDE WEEP SCREEDS AROUND PERIMETER OF RESIDENCE WHERE CEMENT PLASTER FINISH OCCURS. PROVIDE 4" CLEAR ABOVE EARTH AND 2" CLEAR ABOVE PAVED AREAS.
24. MAXIMUM ALLOWABLE GPM RATES FOR SHOWERS SHALL BE 2.0 GPM, LAVATORY FAUCETS MAXIMUM 1.5 GPM. (CGBSC 4.303)

ROOM FINISH MATERIAL NOTES:

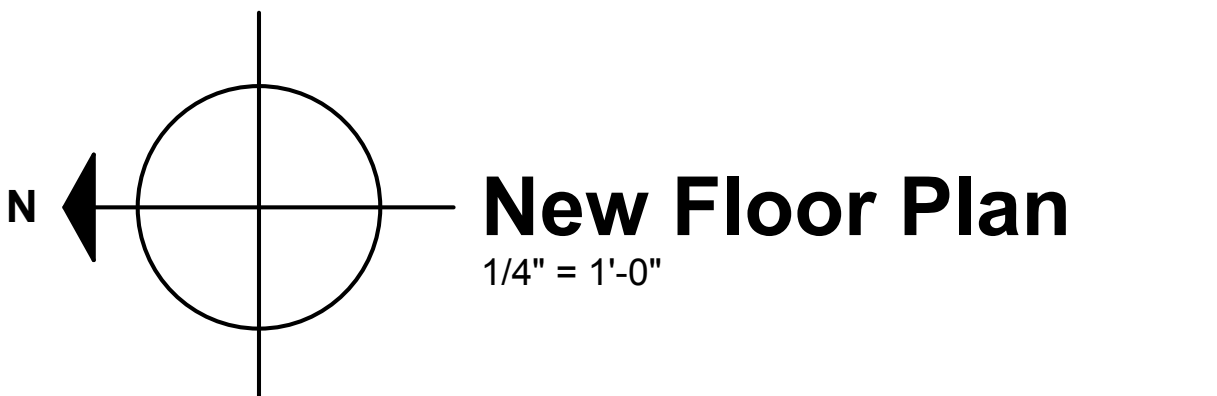
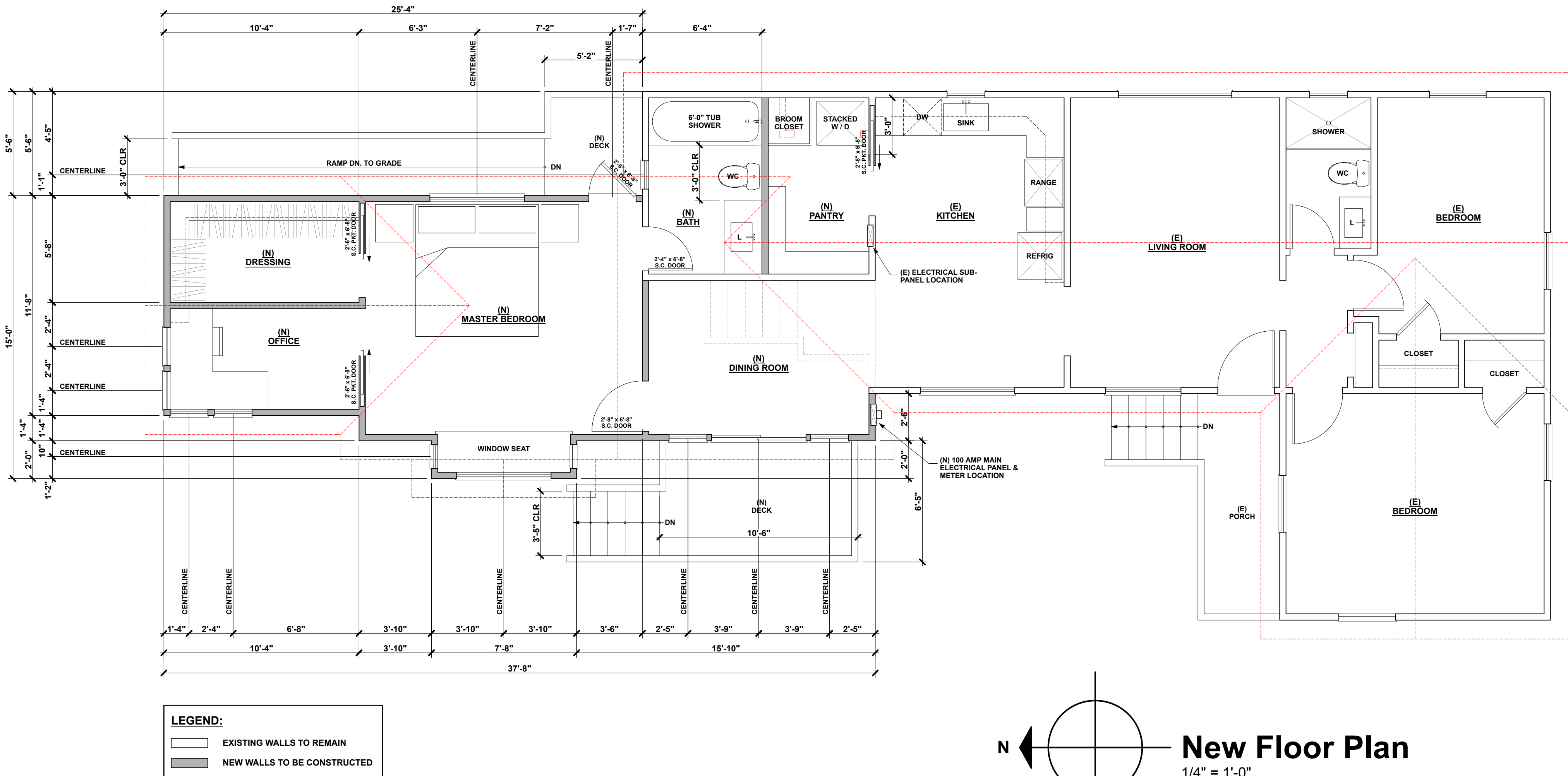
1. ALL WALLS AND CEILINGS OF ALL ROOMS ARE TO BE THIN-COAT PLASTER SMOOTH FINISH UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.
2. ALL FLOORS ARE TO BE 3/4 HARDWOOD, TILE OR CARPET UNLESS OTHERWISE NOTED AND ARE IN COMPLIANCE WITH THE DEAD LOADS SPECIFIED BY THE STRUCTURAL ENGINEER.

GREEN BUILDING REQUIREMENTS:

1. ALL WATER CLOSETS SHALL HAVE A MAXIMUM FLUSH VOLUME OF 1.28 GALLONS, AND SHALL MEET OR EXCEED THE MINIMUM PERFORMANCE CRITERIA DEVELOPED FOR CERTIFICATION OF HIGH-EFFICIENCY TOILETS UNDER THE WATER SENSE PROGRAM ADOPTED BY THE EPA.
2. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBSC SECTIN 4.303.3
3. IN AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING ARE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION, THEY SHALL COMPLY WITH THE REQUIREMENTS OF CGBSC SECTION 4.304.1
4. MINIMUM 50% OF THE NON-HAZARDOUS CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE RECYCLED AND/OR SALVAGED, UNLESS A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE IN MORE STRINGENT. WHERE THE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION AND WASTE MANAGEMENT PLAN COMPLYING WITH CGBSC SECTION 4.408.2 SHALL BE SUBMITTED FOR APPROVAL
5. AT THE TIME OF FINAL INSPECTION, AN "OPERATION AND MAINTENANCE MANUAL" SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE APPLICABLE ITEMS LISTED IN CGBSC SECTION 4.410.1.
6. INSTALLED GAS FIREPLACES SHALL BE DIRECT-VENT SEALED COMBUSTION TYPE (CGBSC 4.503.1)
7. DUCTS AND OTEHR RELATED AIR DISTRIBUTION EQUIPMENT SHALL HAVE OPENINGS COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS. (CGBSC 4.504.1)
8. FINISH MATERIALS, CARPET SYSTEMS, RESILIENT FLOORING, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH THE POLLUTANT CONTROL REQUIREMENTS OF CGBSC SECTION 4.504.2 AND 4.504.3.
CARPET ADHESIVE = 50 (VOC LIMIT)
CARPET PAD ADHESIVE = 50 (VOC LIMIT)
WOOD FLOORING ADHESIVE = 100 (VOC LIMIT)
SUBFLOOR ADHESIVE = 50 (VOC LIMIT)
DRYWALL ADHESIVE = 50 (VOC LIMIT)
9. MOISTURE CONTENT OF WALL AND FLOOR FRAMING MEMBERS SHALL BE VERIFIED PRIOR TO ENCLOSURE, FRAMING MEMBERS SHALL NOT BE ENCLOSED WHEN MOISTURE CONTENT EXCEEDS 19% (CGBSC 4.505.3)
10. BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:
ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50-80%.
11. CONSTRUCTION WASTE MANAGEMENT:
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF **65 PERCENT** OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS, SECTION 4.408.1



Existing Floor Plan



New Floor Plan

AST

DESIGN GROUP

957 ANGELUS WAY

DEL REY OAKS, CA 93940

PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW
ADDITION & REMODEL
FOR:

MIX
RESIDENCE

419 6TH STREET

PACIFIC GROVE, CALIFORNIA

A.P.N.: 006-511-009

DRAWINGS:
EXISTING FLOOR PLAN
NEW FLOOR PLAN
NOTES

DRAWN BY: AST

DRAWING DATE: Sept. 20, 2017

REVISION DATES:

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SHEET

A1.2

NEW
ADDITION & REMODEL
FOR:

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RESIDENCE

419 6TH STREET
PACIFIC GROVE, CALIFORNIA
A.P.N.: 006-511-009

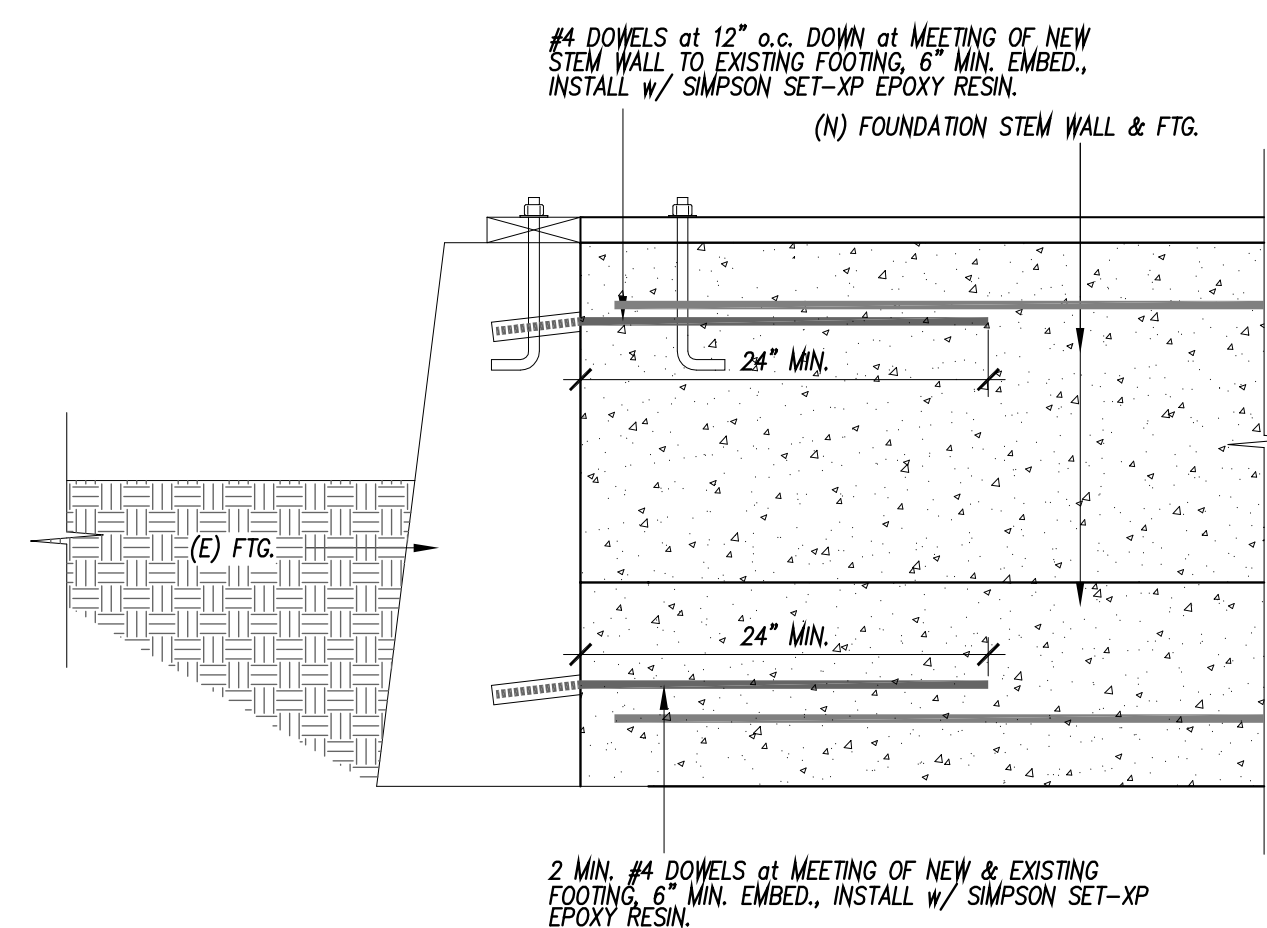
DRAWINGS:
FOUNDATION PLAN
ROOF FRAMING PLAN
DETAILS

DRAWN BY: AST
DRAWING DATE: Sept. 20, 2017
REVISION DATES:

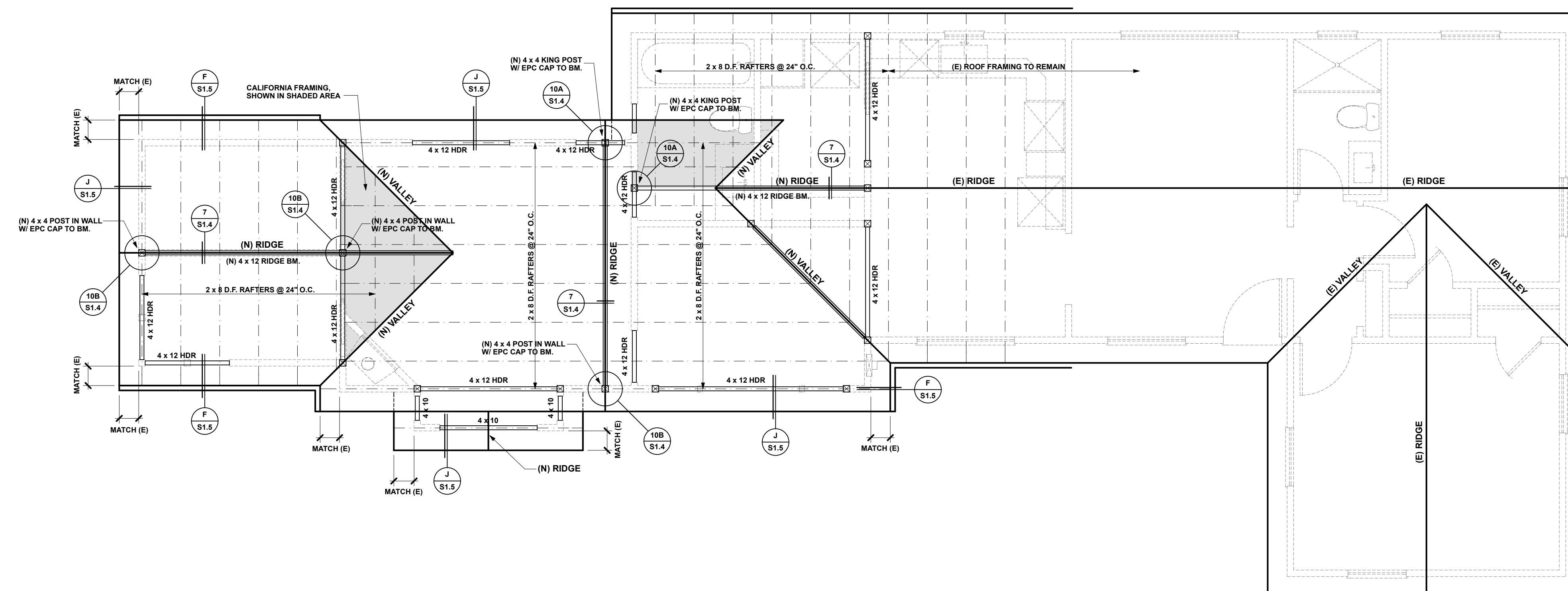
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SHEET

A1.3



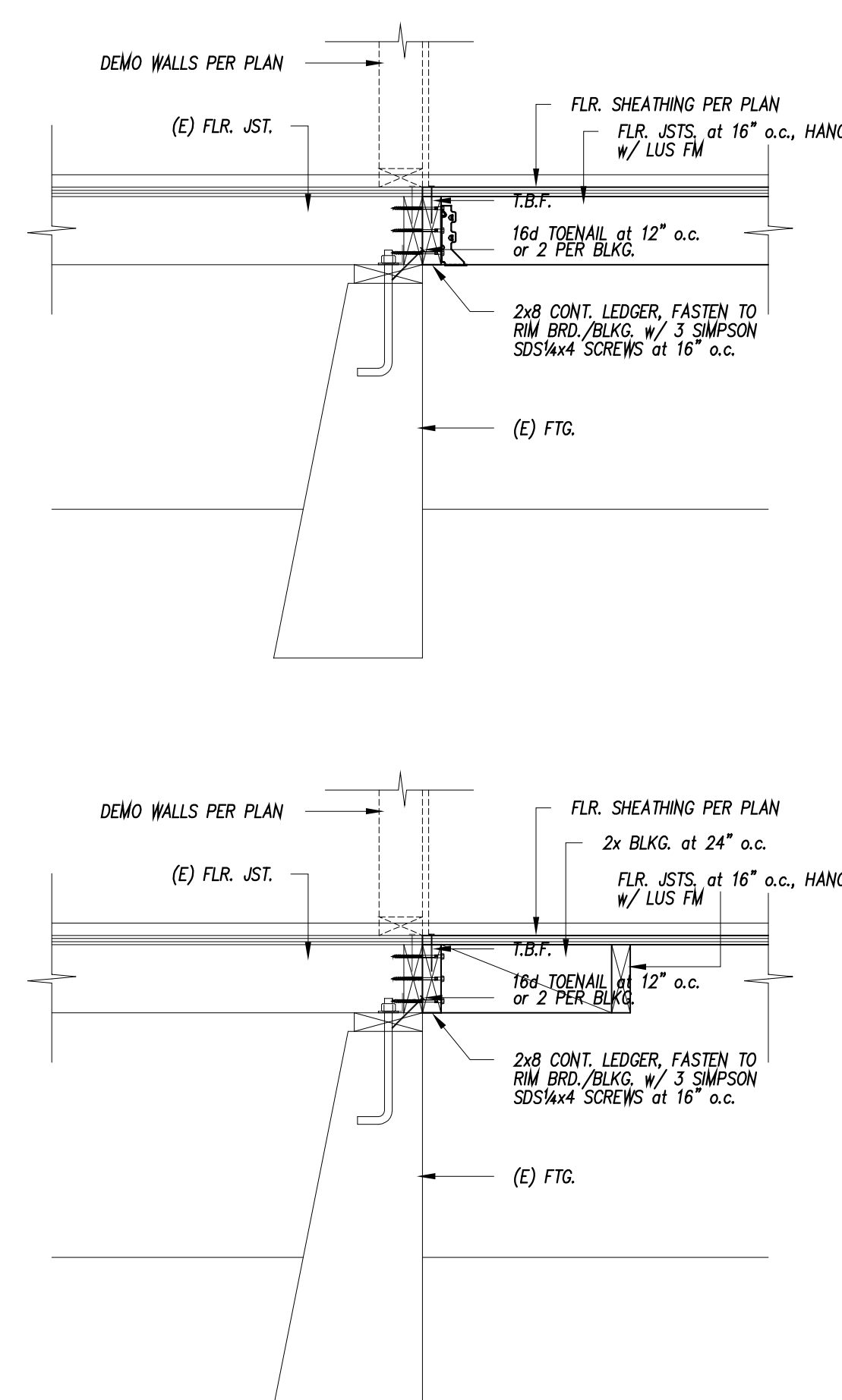
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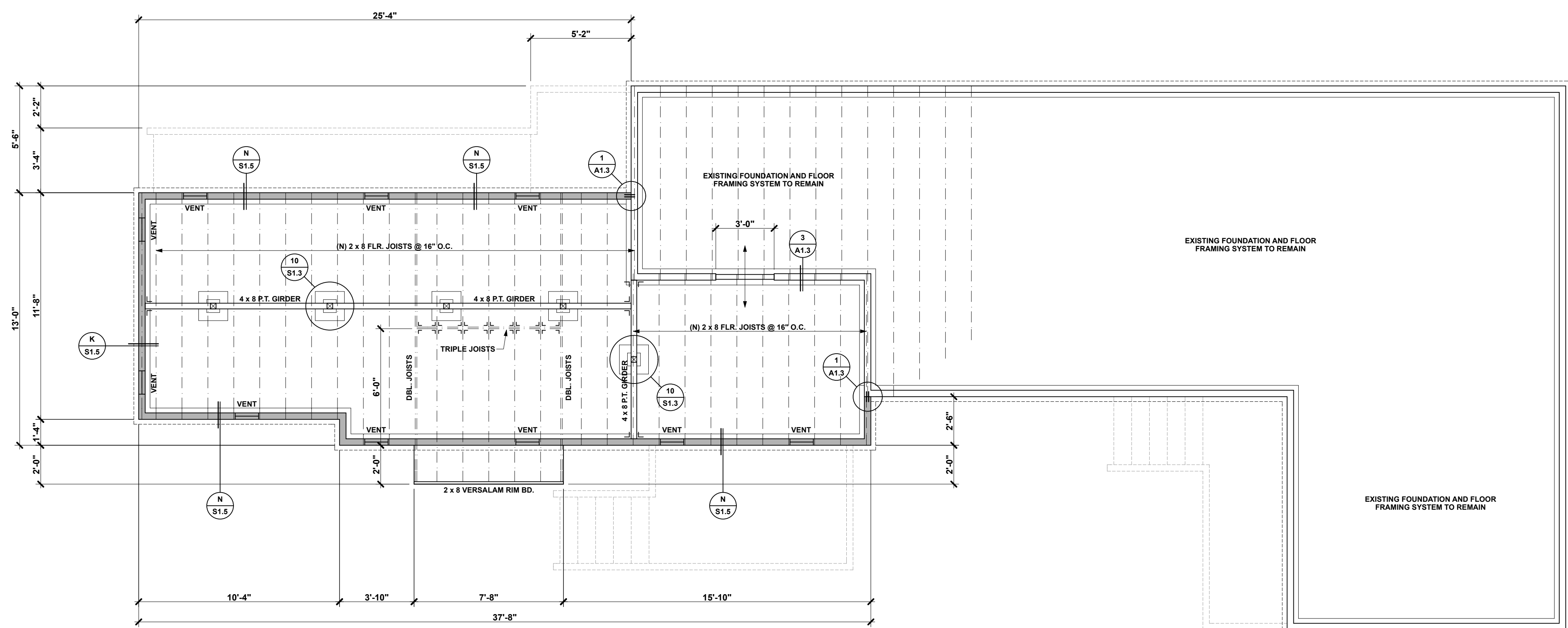
New Roof Framing Plan

$$1/4" = 1'-0"$$

2



3



New Foundation Plan

1/4" = 1'-0"

AST

DESIGN GROUP

957 ANGELUS WAY
DEL REY OAKS, CA 93940
PHONE: (831) 578-3450

AARON S. TOLLEFSON, DESIGNER

NEW
ADDITION & REMODEL
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419 6TH STREET
PACIFIC GROVE, CALIFORNIA
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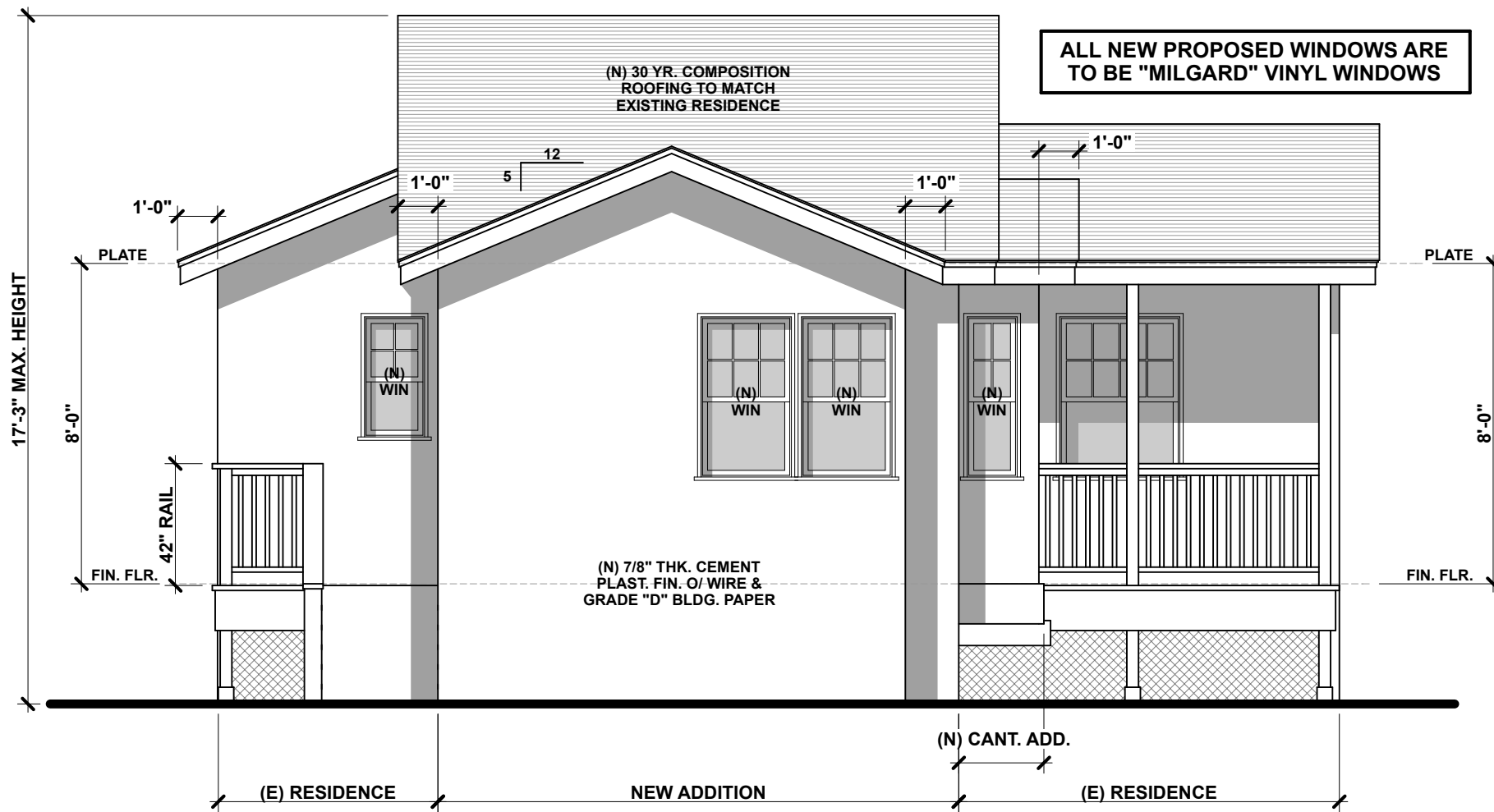
DRAWINGS:
FOUNDATION PLAN
ROOF FRAMING PLAN
DETAILS

DRAWN BY: AST
DRAWING DATE: Sept. 20, 2017
REVISION DATES:
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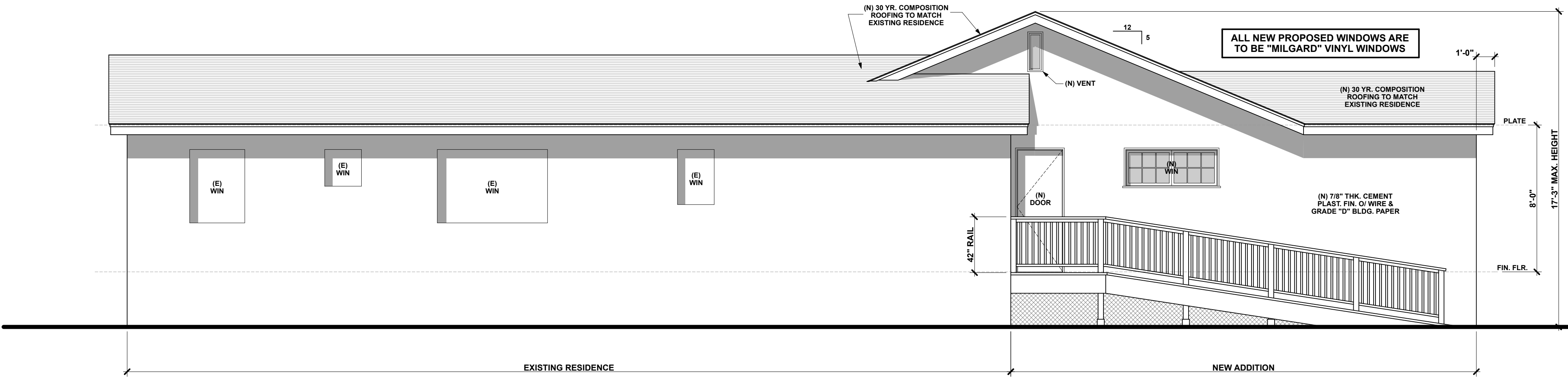
SHEET

A1.4



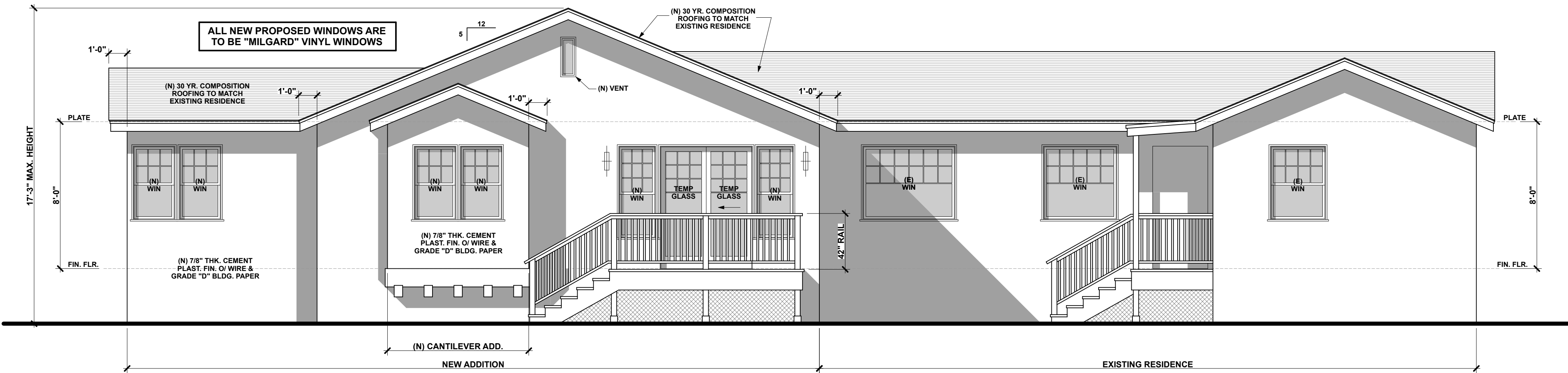
North Exterior Elevation

1/4" = 1'-0"



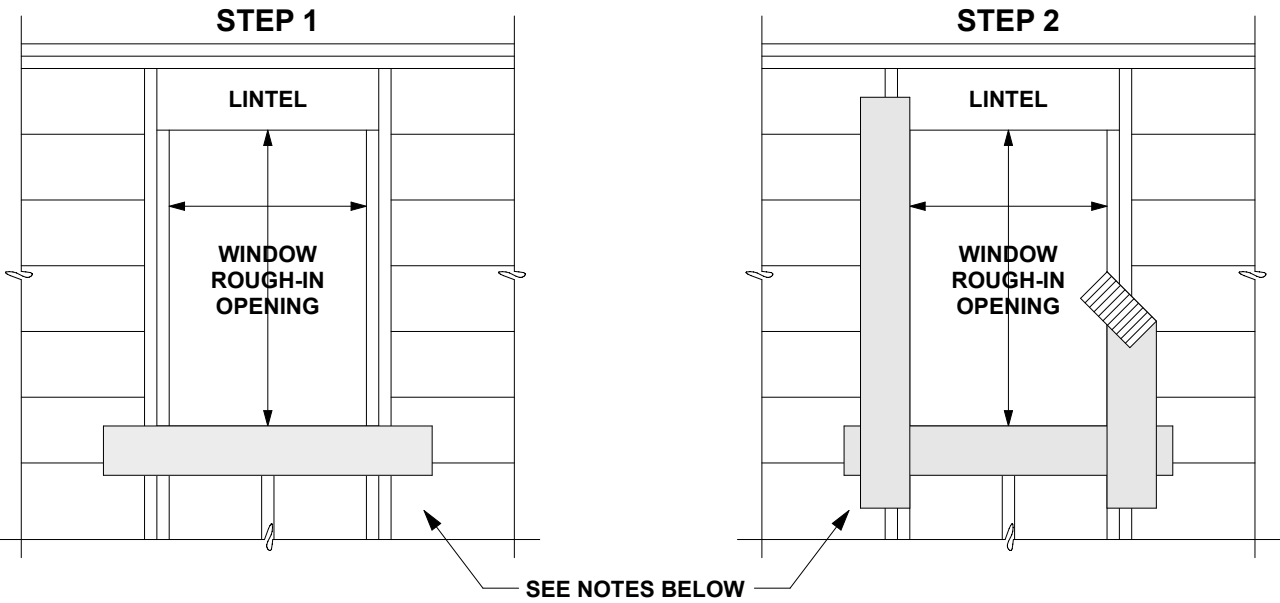
East Exterior Elevation

1/4" = 1'-0"

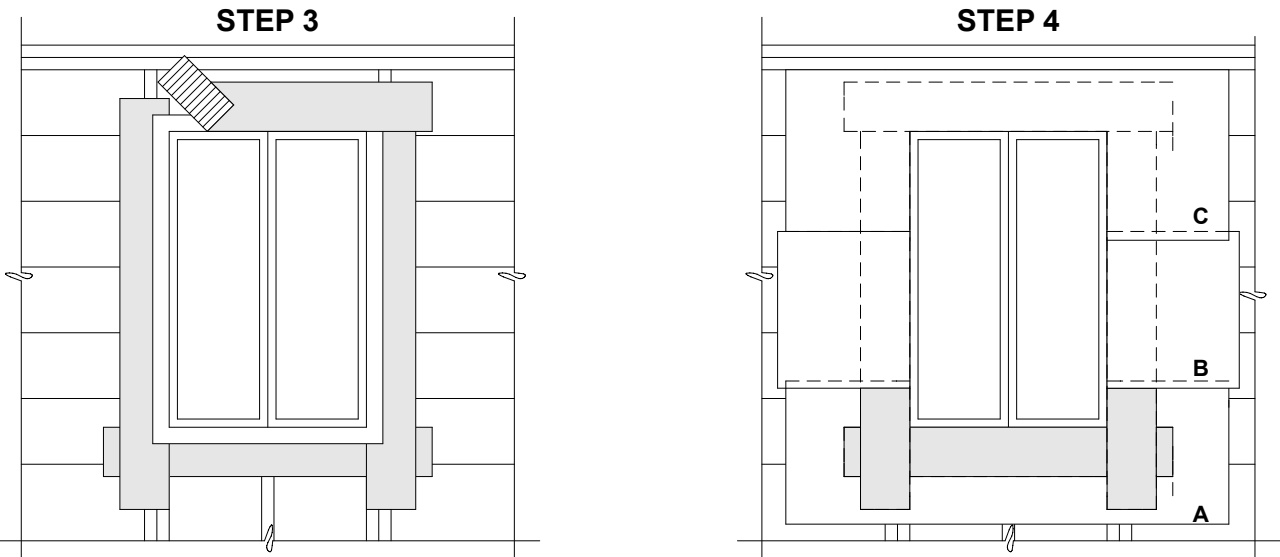


West Exterior Elevation

1/4" = 1'-0"



ATTACH SILL STRIP WITH TOP EDGE LEVEL WITH ROUGH SILL; EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL MOISTOP OR SIMILAR APPROVED FLASHING MATERIAL WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.



INSTALL WINDOW INTO ROUGH OPENING WITH SILL AND JAMB FLANGES OVER PREVIOUSLY INSTALLED FLASHING. ATTACH HEAD FLASHING OVER THE WINDOW FLANGE.

COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP.

NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF THE OPENING.

DO NOT SPLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL EXCESSIVE LINES OF BUILDING PAPER (B, C, D, ETC.) OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE.

NOTES:

1. LINE-WIRE WHEN USED AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH (NETTING) FOR PORTLAND CEMENT (STUCCO), SHALL BE INSTALLED, AS FOLLOWS:

WIRE GAUGE, SPACING AND ATTACHMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MANUFACTURER SPECIFICATIONS.

PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENINGS MUST COVER THE WIRE BACKING.

NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.

2. MOISTOP FLASHING MINIMUM 9" WIDE.

3. PROVIDE SEALANT AS RECOMMENDED BY WINDOW MANUFACTURER PRIOR TO INSTALLATION OF WINDOW OR SLIDING DOOR.

Window Flashing Details

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